



CRAFTING EXCELLENCE
TAILORING TOMORROW



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about

Soham Industrial Hub is set to revolutionize the textile industries and MSME, providing an ideal environment for garment manufacturing, e-commerce giants, brands, distributors, importers, food processors, packaging industries, and pharmaceutical companies—all falling under non-polluting green categories—to establish their industrial and storage facilities.

Our commitment to innovation and efficiency shines through in our state-of-the-art infrastructure and meticulously planned project layout. Soham Industrial Hub offers the best facilities and amenities, providing unparalleled advantages to manufacturers, brands, distributors, importers, and exporters.

Positioned as the premier destination for textile industries and MSME, Soham Industrial Hub is dedicated to meeting the diverse needs of both domestic and export markets



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advantage bengal

West Bengal has historically played a significant role in India's textile industry, particularly in the production of jute and cotton textiles. The state's rich agricultural landscape and favorable climate have facilitated the cultivation of jute and cotton, making it one of the leading producers in the country.

KEY ADVANTAGES INCLUDE:

- *Ample skilled workforce available at competitive wages*
- *Convenient export access facilitated by port and airport presence.*
- *Significant domestic market demand.*
- *Availability of abundant raw material. .*
- *Improved transportation infrastructure*
- *Adequate power supply..*



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an ideal location

Soham Industrial hub is strategically positioned in Khilkapur, Barasat, is only 12 km away from the International Airport, accessible via two independent highways (NH 34 and NH 112), ensuring seamless connectivity for businesses and staff commuting. Furthermore, its close proximity to Barasat Railway Station, Barrackpore road, Kalyani Highway & the Petrapole border enhances accessibility. With excellent road connectivity to Kolkata and **Haldia port**, **Soham Industrial hub caters to logistics and transportation needs efficiently.**

Key Distances:

- 12 km from *Kolkata International Airport via Kolkata Airport.*
- 500 mtr from *Bamangachhi Railway Station*
- 34.6 km from *Khidirpur Dock*
- 55 km from *Petrapole Border*



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hub information

The Industrial Hub, spread across 7.8 acres, boasts a total built-up area of 8,25,000 square feet, encompassing three buildings dedicated to manufacturing units and one Common Facilities Building (CFB) catering to supporting facilities essential for the seamless operation of these units. Additionally, there's accommodation available for staff members on additional payment.

This design emphasizes flexibility, allowing owners to tailor internal layouts to suit their individual business needs effectively.

Block- I	G+5 with 54 units.
Block- I I	G+5 with 18 units.
Block- III	G+5 with 24 units
Block- IV	Consists of space for Staffs /Employee (at extra cost)
service block	Canteen, ATM, Drivers rest room, First aid room, FMC office
Parking	Open car parking & Truck parking bay



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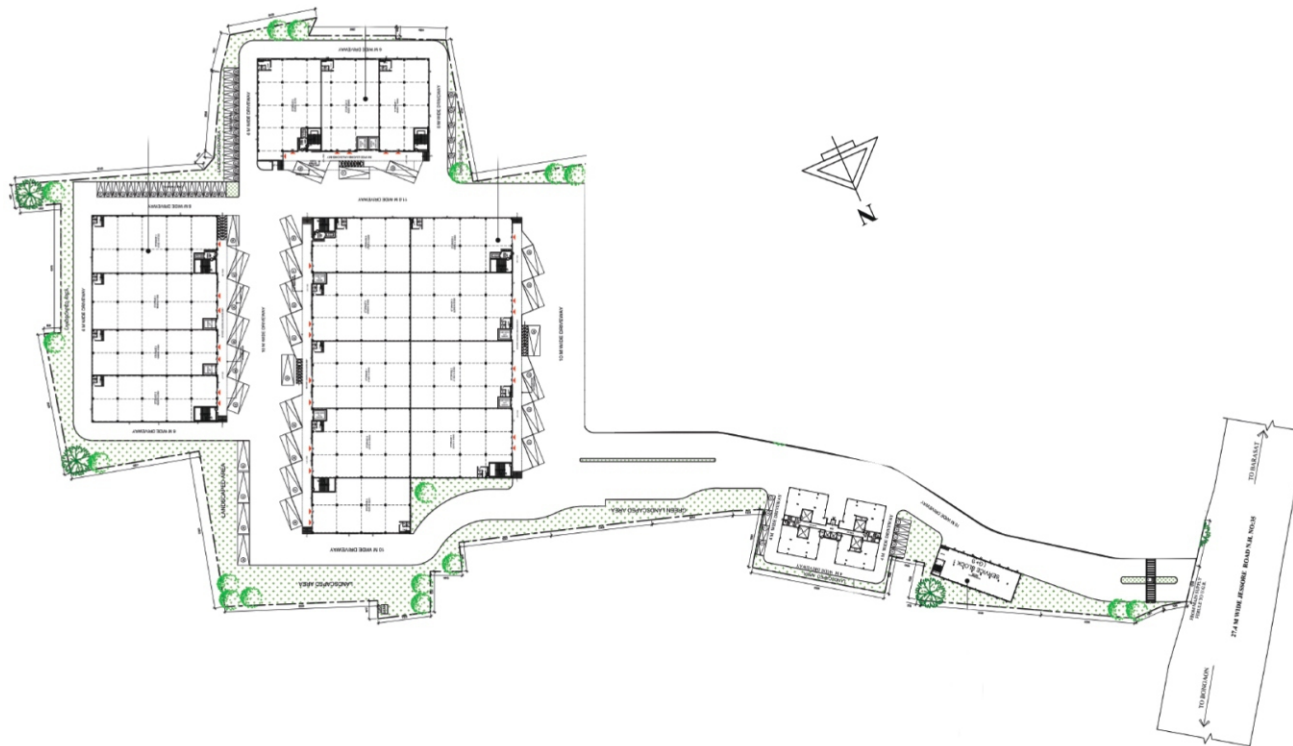
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*m*aster plan



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floor plan (block-1)



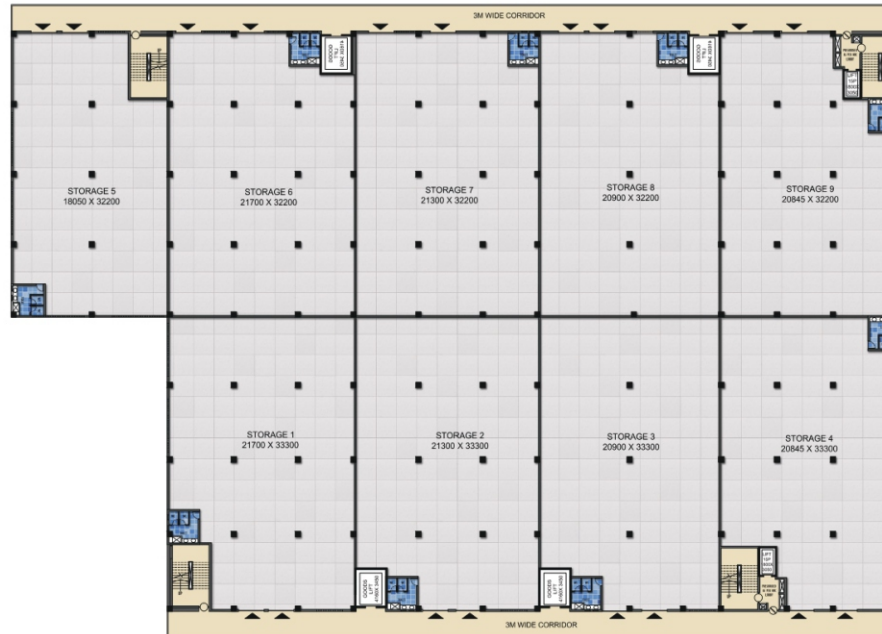
Sl No.	UNIT NO	CARPET AREA (Sqft)	BUILT-UP AREA (Sqft)	SUPER BUILT- UP AREA (Sqft)
1	UNIT - 1	7338	7561	9420
2	UNIT - 2	7423	7601	9470
3	UNIT - 3	7280	7461	9296
4	UNIT - 4	6885	7105	8851
5	UNIT - 5	5857	6065	7556
6	UNIT - 6	7278	7467	9303
7	UNIT - 7	7353	7547	9403
8	UNIT - 8	7044	7199	8969
9	UNIT - 9	6602	6821	8498



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floor plan (block-1)



TYPICAL FLOOR PLAN (1ST, 2ND, 3RD, 4TH & 5TH)



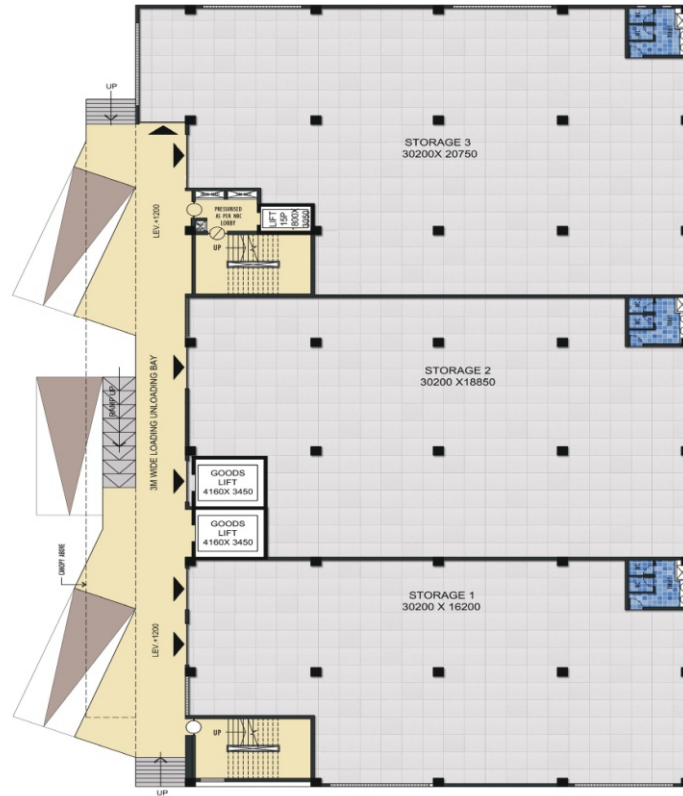
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floor plan (block-2)



GROUND FLOOR PLAN



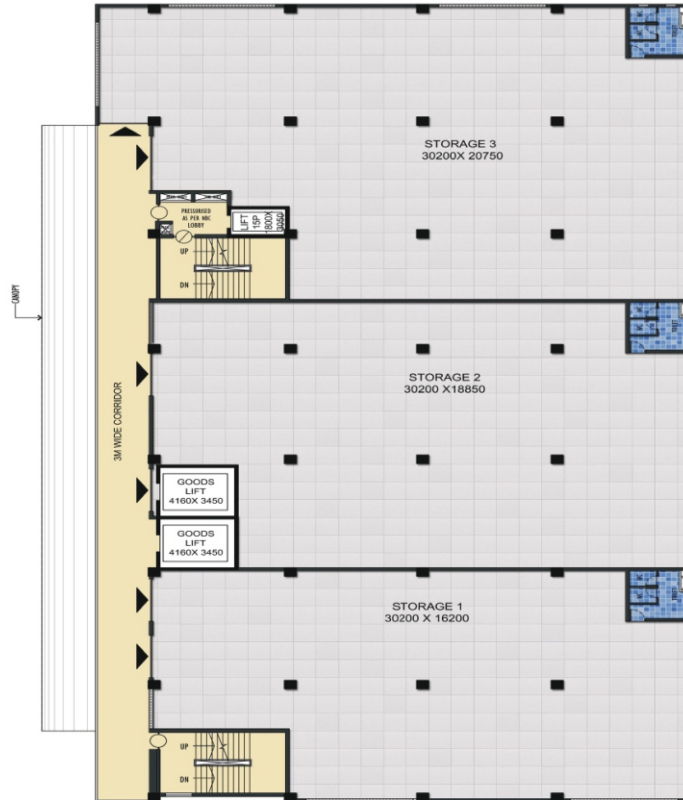
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2	UNIT - 2	5732	5918	7373
3	UNIT - 3	6384	6627	8256



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floor plan (block-2)



TYPICAL FLOOR
PLAN (1ST, 2ND, 3RD, 4TH & 5TH)



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floor plan (block-3)



GROUND FLOOR PLAN

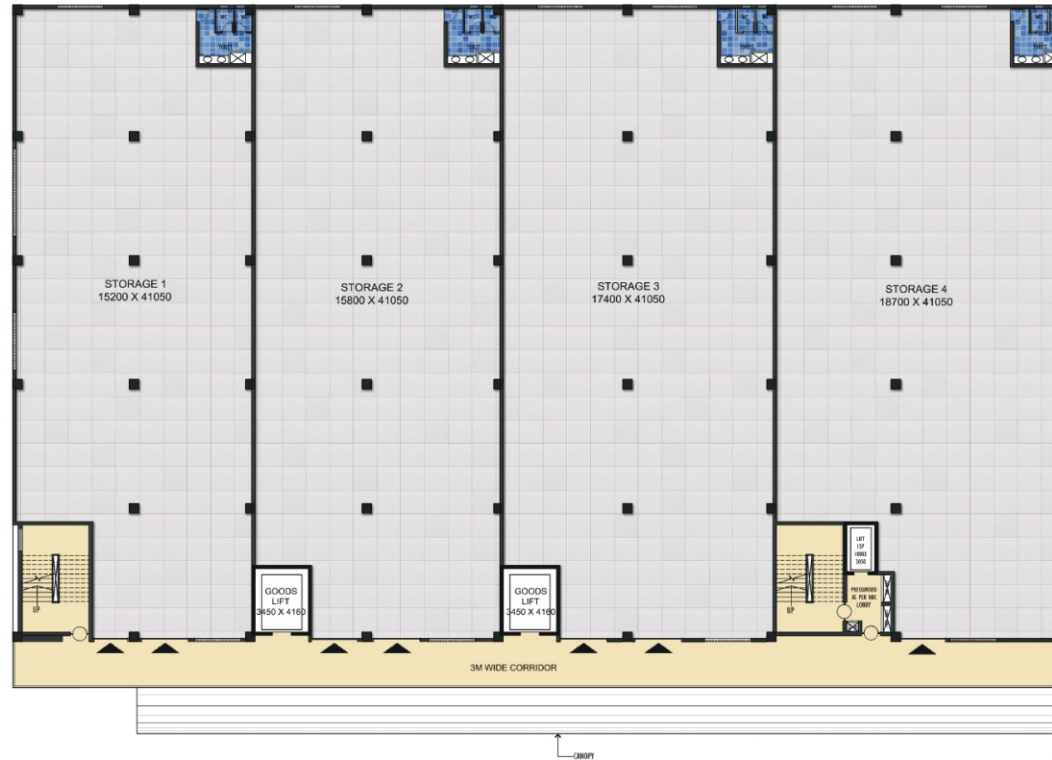
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2	UNIT - 2	6768	6961	8673
3	UNIT - 3	7475	7679	9566
4	UNIT - 4	7655	7900	9843



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floor plan (block-3)



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Common Areas:

- *Main entrance Gate*
- *Roads including passages providing easement rights, installations, and security arrangements not exclusive to any segment.*
- *Electric Sub-Station*
- *Garbage Disposal area*
- *Water sewerage and drainage connection pipes from the Units to drains and sewers common to the premises.*
- *Boundary walls of the premises including outer side of the walls of the building and main gates.*
- *Water pump and underground water reservoirs water pipes and other common plumbing installations and spaces required thereto.*
- *Transformer electrical wiring meters and fittings and fixtures for lighting common areas.*
- *The water pump, the pump room, water reservoir, tube-well, and distribution pipes .*
- *Durwans Room*
- *Provision for Cable TV*
- *Drains and sewers from the premises to the Municipal Duct/ STP.*
- *Landscaped Garden and Central lawn , fountains (if any)*
- *Toilets and bathrooms for use of durwans, drivers, maintenance staff of the-premises.*
- *Visitors Car Parking.*
- *FMC Office.*



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Facilities & Amenities

- 24 X 7 complex
- Huge Loading- unloading platform (dock level) at 4 ft height from ground level
- Upto 10mtr (32ft) wide internal metallic road with internal traffic management
- Boom Barriers to check the inflow of people & trucks provides ease even when there are large number of vehicles moving around
- 24*7 security with CCTV surveillance ensures safety and security
- Cable connection/ Cable TV System
- DG & power back up facility for all common services as well as for occupants (at extra cost) for safe working environment
- Electricity readily available as per requirement. (at extra cost)
- Water Treatment Plant, Sewage Treatment Plant and Solid Waste Disposal System as required for a healthy work atmosphere
- Ample wash rooms/ rest rooms to provide hygienic standards for drivers, workers and floating staffs
- Green environment with beautiful landscaping
- Fire fighting as per fire norms
- Proper drainage & Sewerage facility
- Professional and world class maintenance
- All government approvals like conversion, pollution, fire etc. in place
- Toilets/Pantry etc. will be buyer's / tenant's scope along with waterproofing.
- Smoke detector & sprinkler system has to be installed by client before start of operations within the unit.
- Other fire related work will be done by developer in common areas.
- VDF flooring.
- Putty finish on wall & ceiling.
- Unit entrance closed with rolling shutter.
- Wiring up to meter room on ground floor.
- Staff / Labour accommodation for on site staff (at extra Cost)



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Specifications:

- 1) Structure- G+5 RCC structure.
- 2) Top Floor : RCC roofing.
- 3) Floor Height – 3.9 Mtr (12.5 feet Approx) Ground Floor Height , 3.525 Mtr (11.5 feet Approx) 1st Floor to 4th floor Height and 4 Mtr (12.9 feet Approx) for 5th floor floors slab to slab.
- 4) Lift - 8 Goods lifts of 4 tons each for easy transportation of heavy goods and 3 Passenger lifts of 15 persons capacity.
- 5) Floor Load Capacity - Designated load of 750 kg/ sqm in upper floor and 1000 Kg/ sqm on Ground Floor.



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**SUCCESSFUL PAST.
PROMISING FUTURE.**



THE LEVELZ

The Levelz is an impeccably crafted property, located just meters away from Prince Anwar Shah Road. Enjoy the sprawling magnificence of more than 1.09 acres, with 44 Villament & world of luxurious amenities. The project has been awarded with the "Best Luxury Segment" project award by CREDAI BENGAL AWARD 2022.



MORYA

Morya is designed to match the world's finest while remaining true to our culture and strives in building a better tomorrow with grandeur and joy. Its spread over 5.2 acres of land area with fine luxury apartments in the heart of South Kolkata overlooking the 100 acres Tollygunge Golf Course.



DIAMOND CITY WEST

Diamond City West has 10 towers, with 13 floors each, 1000 units on offer with 10 lacs sq. ft. of construction. Spread over an area of 27.54 acres, Diamond City West is one of the spacious housing societies in the Kolkata South region with all the premium amenities like clubhouse, tennis court, swimming pool, children's play area, gymnasium, indoor games, community hall to live a plush lifestyle. Project was handed over in the year 2010.



DIAMOND HERITAGE

Mesmerizing, impressive & stunning! Diamond Heritage (B+G+14), Kolkata's first commercial heritage project that was restored & recreated having a panoramic view of the Ganges. It is equipped with everything that technology has to offer, and work becomes a pleasure. It was awarded the Best Commercial Project by CREDAI Bengal Realty Awards, 2017.



NAVITA

Navita Madhyamgram has 4 towers, with 11 floors each and 312 units on offer. Spread over an area of 2.9 acres, Navita is one of the spacious housing societies in the Kolkata North region with all the major amenities. It fits into one's budget and lifestyle. Project has won two prestigious awards CREDAI Bengal Realty Award in the year 2019 & Excellence Awards at Realty Plus Conclave '19. Project was handed over in the year 2018.



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