

*Park  
your  
business  
dreams  
here*

Park **NX**  
@ the centre of business



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MOD  RNN  
PROPERTIES

# ParkNX

@ the centre of business



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Move out of your old  
address to near the  
most famous central  
thoroughfare of  
*downtown Kolkata*



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# Reset your business destiny

Presenting

**ParkNX**  
@ the centre of business

A modern commercial high rise just  
300m off Park Street



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Wide range  
of column-less offices  
*fully vastu compliant*



Typical Office View



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Map not to scale



Relocate to the  
*Epicentre of Business*



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Map not to scale



LANDMARK	DISTANCE
Airport	17 Km (45 Min)
Howrah Station	6.1 Km (20 Min)
Sealdah Station	3.7Km (14 Min)
High Court	3.2 Km (12 Min)
Park Street Metro	1 Km (5 Min)
Maidan Metro	1.5 Km (8 Min)

Map not to scale

	Park Street	5 min
	Maidan	8 min
	Esplanade	12 min

	Howrah	20 min
	Sealdah	14 min

	Minto Park	20 min
	Maidan Metro	12 min
	Park Street Metro	8 min



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Exquisitely landscaped  
*drop-off area*  
*with valet services*



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Rooftop sit out zone  
offering 360 degree  
*panoramic view of  
Kolkata's CBD*



Roof top Zone



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Grand entrance lobby  
for an impressive  
*professional welcome*



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# Facilities and Amenities



Air-Conditioned  
Grand Entrance Lobby



Ample Car Parking Space  
with Valet Services



100% Power  
Backup



3 numbers High-speed  
Automatic Elevators



After Work Relaxing  
Zone on the Roof



Modern Fire  
Fighting System



24 x 7  
Water Supply



Intercom  
Facility



Exquisitely Landscaped  
Drop-off Areas



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# Specifications

Inside & outside the unit

INSIDE THE UNIT	Head	Specifications
	Flooring	Bare Flooring with POP on walls
	Toilet finish	Waterproofing and anti-skid tiles. All fittings of Jaquar or equivalent make
	Wood work	Wooden flush doors for toilet door and main door
	Electrical	Electrical wiring - 3 phase upto main DB and individual meter
	HVAC	Adequately sized high side of VRV system to be provided by promoter (at extra cost), low side to be done by allottee Common AC ledge provided in every floor

OUTSIDE THE UNIT	Head	Specifications
	Structure	Earthquake resistant RCC framed structure with seismic compliance as per IS code
	External facade	Combination of Glazing/Texture Paint/Aluminium louvers
	Entrance lobby	Aesthetically designed air-conditioned ground floor lobby finished with Italian Marble/High quality Granite/premium Vitrified Tiles
	Typical lobby and staircase	Aesthetically designed typical lobby finished with Vitrified Tiles/Staircase flooring - Granite/Kota Stone/Vitrified Tiles
	External walls	AAC Blocks
	Movement facilitators	3 numbers Kone/OTIS/Schindler or equivalent elevators including 1 no. service lift
	Power and back up	24 x 7 Power supply with 100% DG backup (at extra cost)
	Fire protection	Modern Fire Safety System as per recommendation of West Bengal Fire Services Department
	Communication	Provision for high speed internet connectivity with sufficient bandwidth Intercom facility in each office with reception/security
	Security	24 x 7 manned premises with CCTV surveillance at designated areas



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Own your space at the  
perfect location to  
*upscale your business*



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# Master Plan

with Ground floor



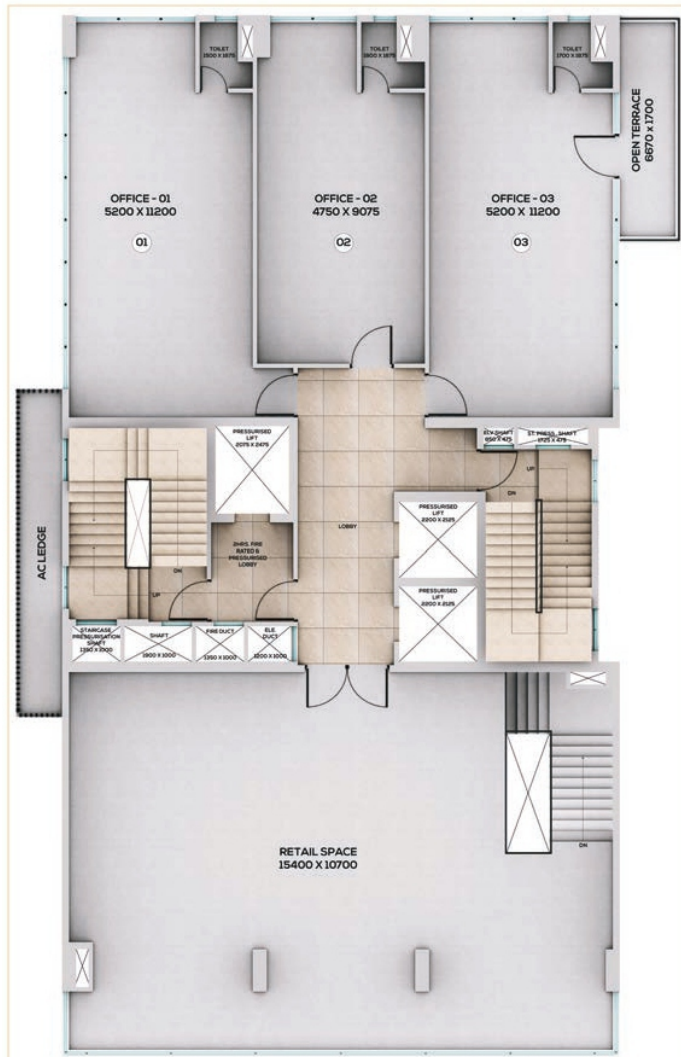
**Park NX offers** flexible office spaces suited for  
Corporates & Professionals



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# First Floor Plan



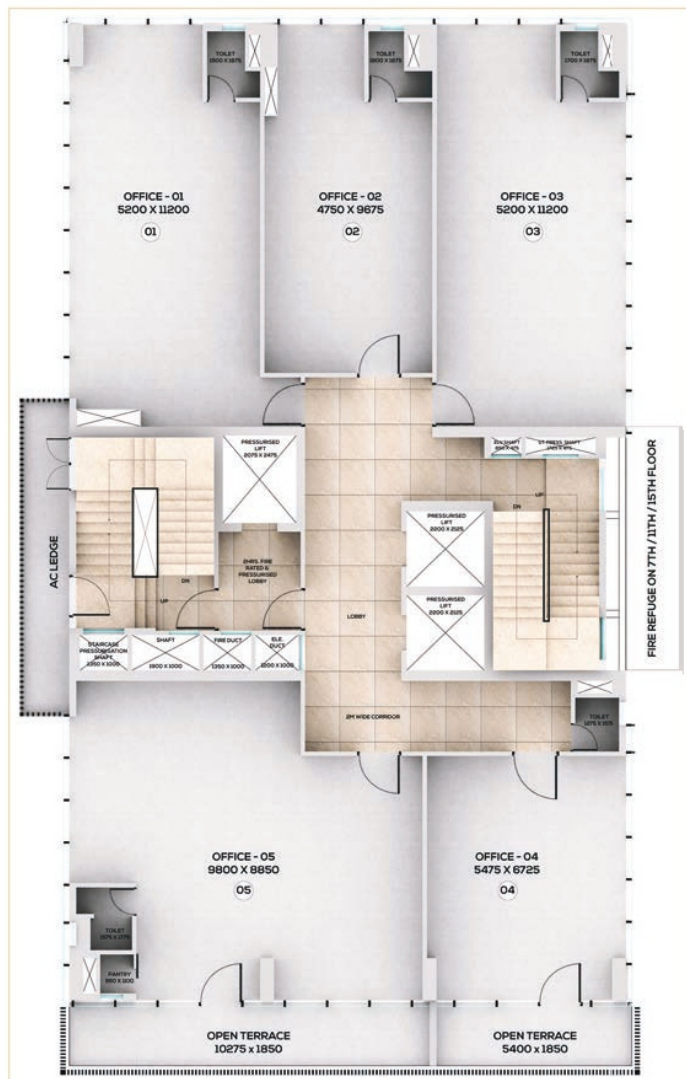
Location	Carpet Area (Sqft)	Built up Area (Sqft)	Super Built up Area Unit (Sqft)	Open Terrace (Sqft)
Office 1	638	710	1060	X
Office 2	484	524	782	X
Office 3	625	688	1027	175
Retail 1st Floor	1602	1735	2590	X



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# Second Floor Plan



Location	Carpet Area (Sqft)	Built up Area (Sqft)	Super Built up Area	
			Unit (Sqft)	Open Terrace (Sqft)
Office 1	638	710	1060	X
Office 2	484	524	782	X
Office 3	625	688	1027	X
Office 4	415	473	706	170
Office 5	845	927	1384	303

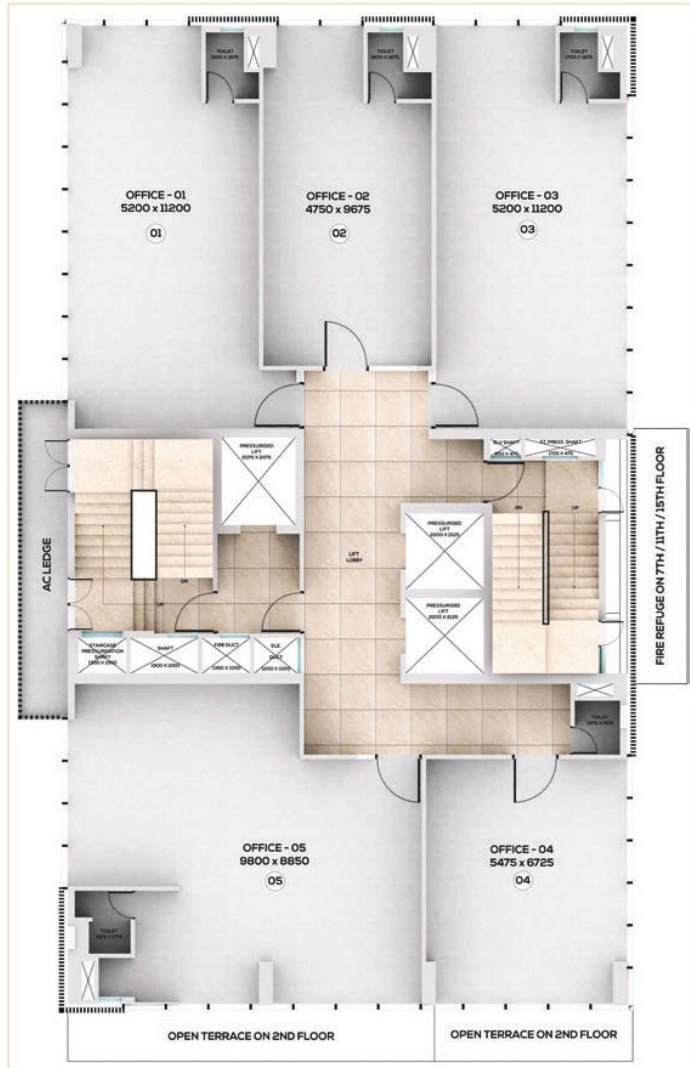


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# Typical Floor Office Plan

3rd to 13th floor without furniture



Location	Carpet Area (Sqft)	Built up Area (Sqft)	Super Built up Area/Unit (Sqft)
Office 1	638	710	1060
Office 2	484	524	782
Office 3	625	688	1027
Office 4	415	473	706
Office 5	845	927	1384



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# Typical Floor Office Plan

3rd to 13th floor with indicative furniture layout



Location	Carpet Area (Sqft)	Built up Area (Sqft)	Super Built up Area/Unit (Sqft)
Office 1	638	710	1060
Office 2	484	524	782
Office 3	625	688	1027
Office 4	415	473	706
Office 5	845	927	1384

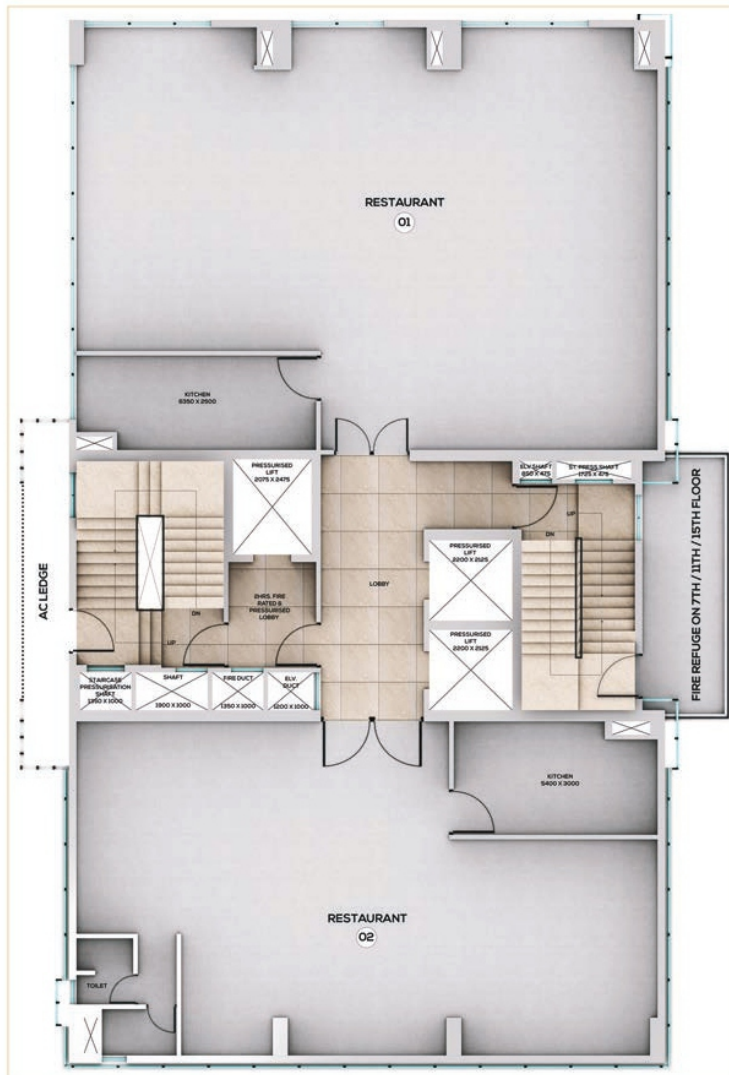


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# Restaurant Floor Plan

14th to 16th Floor



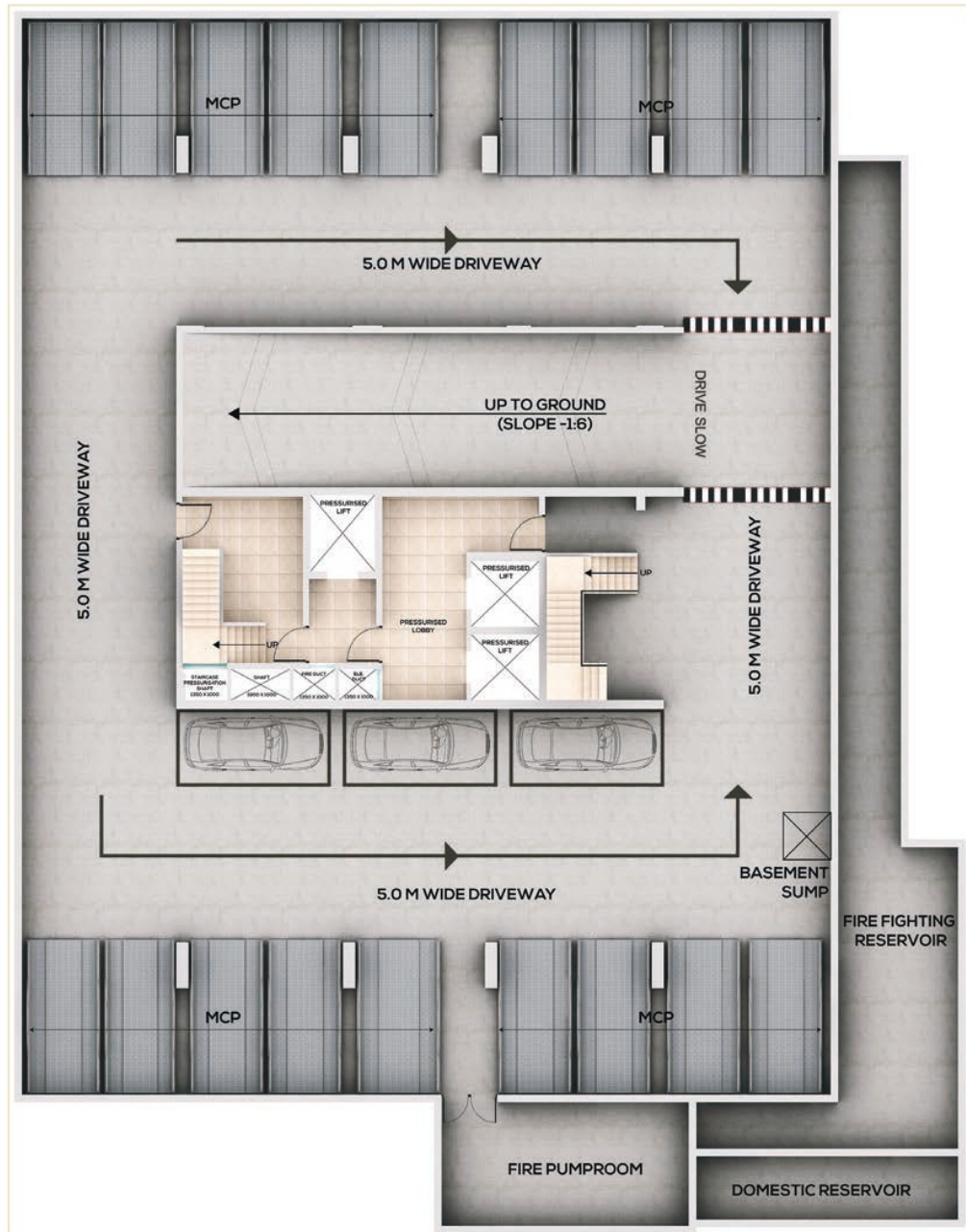
Location	Carpet Area (Sqft)	Built up Area (Sqft)	Super Built up Area/Unit (Sqft)
Restaurant 01	1826	1979	2954
Restaurant 02	1440	1584	2364



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# Basement Plan



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DEVELOPER



With more than 75 years of excellence, the Bhagat Group of Companies has been a reputed business house, with strong presence in manufacturing jute textile, flour milling and real estate. The group has gradually expanded and our recently added Real Estate vertical Ginni Realty has emerged to contribute its expertise and excellence in this promising real estate market aspiring and working to be the most trusted name in this field. We are bringing an alteration in the skyline of the city and come with a dual promise of quality and affordability.

Our group has earned recognition as a reliable, ethical and transparent brand and we are committed to ensure customer satisfaction at all times.

Architect:



Solicitor &  
Advocate:

**ginnodia & co.**  
SOLUTIONS & ADVOCATES



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